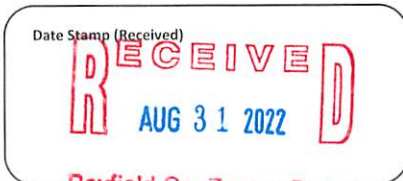


SUBMIT: COMPLETED APPLICATION, TAX STATEMENT AND FEE TO:  
Bayfield County  
Planning and Zoning Depart.  
PO Box 58  
Washburn, WI 54891  
(715) 373-6138

APPLICATION FOR PERMIT  
BAYFIELD COUNTY, WISCONSIN



Permit #:	22-034
Date:	10-28-2022
Amount Paid:	1,200 10-27-22
Refund:	

INSTRUCTIONS: No permits will be issued until all fees are paid.  
Checks are made payable to: Bayfield County Zoning Department.  
DO NOT START CONSTRUCTION UNTIL ALL PERMITS HAVE BEEN ISSUED TO APPLICANT.

TYPE OF PERMIT REQUESTED → <input checked="" type="checkbox"/> LAND USE <input type="checkbox"/> SANITARY <input type="checkbox"/> PRIVY <input type="checkbox"/> CONDITIONAL USE <input type="checkbox"/> SPECIAL USE <input type="checkbox"/> B.O.A. <input type="checkbox"/> OTHER			
Owner's Name: JOHN HORNS	Mailing Address: 6101 JEFFREY LAKE	City/State/Zip: EDINA, MN 55436	Telephone: 
Address of Property: 14935 NORDMOR ROAD	City/State/Zip: CABLE, WI 54821	Cell Phone: 612-322-5900	
Contractor: RICK YERHOT BUILDER	Contractor Phone: 507-273-8127	Plumber: BUTTERFIELD INC	Plumber Phone: 715-634-8176
Authorized Agent: (Person Signing Application on behalf of Owner(s)) RICK YERHOT	Agent Phone: SAME	Agent Mailing Address (include City/State/Zip): 44405 EAGLE PT DR CABLE WI 54821	Written Authorization Attached <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
PROJECT LOCATION 1/4, 1/4	Legal Description: (Use Tax Statement) 	Tax ID# (4-5 digits) 10528	Recorded Deed (i.e. # assigned by Register of Deeds) Document #: R- 
Section 21, Township 43 N, Range 07 W	Town of: CABLE	Lot Size 27,900	Acreage .64

<input type="checkbox"/> Shoreland →	<input checked="" type="checkbox"/> Is Property/Land within 300 feet of River, Stream (incl. Intermittent) Creek or Landward side of Floodplain? If yes---continue →	Distance Structure is from Shoreline : _____ feet	Is Property in Floodplain Zone? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Are Wetlands Present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	<input type="checkbox"/> Is Property/Land within 1000 feet of Lake, Pond or Flowage If yes---continue →	Distance Structure is from Shoreline : _____ feet		
<input checked="" type="checkbox"/> Non-Shoreland				

Value at Time of Completion * include donated time & material	Project	# of Stories and/or basement	Use	# of bedrooms	What Type of Sewer/Sanitary System Is on the property?	Water
\$ 400.00	<input type="checkbox"/> New Construction	<input type="checkbox"/> 1-Story	<input type="checkbox"/> Seasonal	<input type="checkbox"/> 1	<input type="checkbox"/> Municipal/City	<input type="checkbox"/> City
	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> 1-Story + Loft	<input checked="" type="checkbox"/> Year Round	<input type="checkbox"/> 2	<input checked="" type="checkbox"/> (New) Sanitary Specify Type: _____	<input checked="" type="checkbox"/> Well
	<input type="checkbox"/> Conversion	<input checked="" type="checkbox"/> 2-Story	<input type="checkbox"/> _____	<input checked="" type="checkbox"/> 3	<input type="checkbox"/> Sanitary (Exists) Specify Type: _____	<input type="checkbox"/> _____
	<input type="checkbox"/> Relocate (existing bldg)	<input type="checkbox"/> Basement		<input type="checkbox"/> _____	<input type="checkbox"/> Privy (Pit) or <input type="checkbox"/> Vaulted (min 200 gallon)	
	<input type="checkbox"/> Run a Business on Property	<input type="checkbox"/> No Basement		<input type="checkbox"/> None	<input type="checkbox"/> Portable (w/service contract)	
	<input type="checkbox"/> _____	<input checked="" type="checkbox"/> Foundation			<input type="checkbox"/> Compost Toilet	
					<input type="checkbox"/> None	

Existing Structure: (if permit being applied for is relevant to it)	Length: _____	Width: _____	Height: _____
Proposed Construction:	Length: 38	Width: 30	Height: 27

Proposed Use	✓	Proposed Structure	Dimensions	Square Footage
<input checked="" type="checkbox"/> Residential Use	<input checked="" type="checkbox"/>	Principal Structure (first structure on property)	30 X 27	810
	<input type="checkbox"/>	Residence (i.e. cabin, hunting shack, etc.)	( X )	
		with Loft	( X )	
		with a Porch	( 12 X 12 )	144
		with (2 <sup>nd</sup> ) Porch	( X )	
		with a Deck	( X )	
<input type="checkbox"/> Commercial Use		with (2 <sup>nd</sup> ) Deck	( X )	
		with Attached Garage	( 22 X 13 )	325
<input type="checkbox"/> Municipal Use	<input type="checkbox"/>	Bunkhouse w/ ( <input type="checkbox"/> sanitary, or <input type="checkbox"/> sleeping quarters, or <input type="checkbox"/> cooking & food prep facilities )	( X )	
	<input type="checkbox"/>	Mobile Home (manufactured date) _____	( X )	
	<input type="checkbox"/>	Addition/Alteration (specify) _____	( X )	
	<input type="checkbox"/>	Accessory Building (specify) _____	( X )	
	<input type="checkbox"/>	Accessory Building Addition/Alteration (specify) _____	( X )	
	<input type="checkbox"/>	Special Use: (explain) _____	( X )	
	<input type="checkbox"/>	Conditional Use: (explain) _____	( X )	
	<input type="checkbox"/>	Other: (explain) _____	( X )	

FAILURE TO OBTAIN A PERMIT or STARTING CONSTRUCTION WITHOUT A PERMIT WILL RESULT IN PENALTIES

I (we) declare that this application (including any accompanying information) has been examined by me (us) and to the best of my (our) knowledge and belief it is true, correct and complete. I (we) acknowledge that I (we) am (are) responsible for the detail and accuracy of all information I (we) am (are) providing and that it will be relied upon by Bayfield County in determining whether to issue a permit. I (we) further accept liability which may be a result of Bayfield County relying on this information I (we) am (are) providing in or with this application. I (we) consent to county officials charged with administering county ordinances to have access to the above described property at any reasonable time for the purpose of inspection.

Owner(s): \_\_\_\_\_  
(If there are Multiple Owners listed on the Deed All Owners must sign or letter(s) of authorization must accompany this application)

Date \_\_\_\_\_

Authorized Agent: \_\_\_\_\_  
(If you are signing on behalf of the owner(s) a letter of authorization must accompany this application)

Date 7/14/22

Address to send permit \_\_\_\_\_

Attach  
Copy of Tax Statement

If you recently purchased the property send your Recorded Deed

APPLICANT - PLEASE COMPLETE PLOT PLAN ON REVERSE SIDE

Trust Paperwork of Andrew



In the box below: **Draw or Sketch your Property** (regardless of what you are applying for)

- (1) Show Location of: Proposed Construction  
(2) Show / Indicate: North (N) on Plot Plan  
(3) Show Location of (\*): (\*) Driveway and (\*) Frontage Road (Name Frontage Road)  
(4) Show: All Existing Structures on your Property  
(5) Show: (\*) Well (W); (\*) Septic Tank (ST); (\*) Drain Field (DF); (\*) Holding Tank (HT) and/or (\*) Privy (P)  
(6) Show any (\*): (\*) Lake; (\*) River; (\*) Stream/Creek; or (\*) Pond  
(7) Show any (\*): (\*) Wetlands; or (\*) Slopes over 20%

SEE ATTACHED

Please complete (1) – (7) above (prior to continuing)

Changes in plans must be approved by the Planning & Zoning Dept.

- (8) Setbacks: (measured to the closest point)

Description	Measurement		Description	Measurement
Setback from the Centerline of Platted Road	49 Feet		Setback from the Lake (ordinary high-water mark)	Feet
Setback from the Established Right-of-Way	40 Feet		Setback from the River, Stream, Creek	Feet
			Setback from the Bank or Bluff	Feet
Setback from the North Lot Line	22 Feet			
Setback from the South Lot Line	48 Feet		Setback from Wetland	Feet
Setback from the West Lot Line	40 Feet		20% Slope Area on property	<input type="checkbox"/> Yes <input type="checkbox"/> No
Setback from the East Lot Line	150+ Feet		Elevation of Floodplain	Feet
Setback to Septic Tank or Holding Tank	20 Feet		Setback to Well	20 Feet
Setback to Drain Field	25 Feet			
Setback to Privy (Portable, Composting)	Feet			

Prior to the placement or construction of a structure within ten (10) feet of the minimum required setback, the boundary line from which the setback must be measured must be visible from one previously surveyed corner to the other previously surveyed corner or marked by a licensed surveyor at the owner's expense.

Prior to the placement or construction of a structure more than ten (10) feet but less than thirty (30) feet from the minimum required setback, the boundary line from which the setback must be measured must be visible from one previously surveyed corner to the other previously surveyed corner, or verifiable by the Department by use of a corrected compass from a known corner within 500 feet of the proposed site of the structure, or must be marked by a licensed surveyor at the owner's expense.

- (9) Stake or Mark Proposed Location(s) of New Construction, Septic Tank (ST), Drain field (DF), Holding Tank (HT), Privy (P), and Well (W).

**NOTICE:** All Land Use Permits Expire One (1) Year from the Date of Issuance if Construction or Use has not begun.

For The Construction Of New One & Two Family Dwelling: ALL Municipalities Are Required To Enforce The Uniform Dwelling Code.  
The local Town, Village, City, State or Federal agencies may also require permits.

<b>Issuance Information (County Use Only)</b>		Sanitary Number: 22-1465	# of bedrooms: 3	Sanitary Date: 10/12/22	
Permit Denied (Date):		Reason for Denial:			
Permit #: 22-0301		Permit Date: 10-28-2022			
Is Parcel a Sub-Standard Lot	<input checked="" type="checkbox"/> Yes (Deed of Record) plat 27 1970	Mitigation Required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Affidavit Required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is Parcel in Common Ownership	<input type="checkbox"/> Yes (Fused/Contiguous Lot(s))	Mitigation Attached	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Affidavit Attached	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is Structure Non-Conforming	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				
Granted by Variance (B.O.A.)		Previously Granted by Variance (B.O.A.)			
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Case #:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Case #:			
Was Parcel Legally Created	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Were Property Lines Represented by Owner	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Was Proposed Building Site Delineated	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Was Property Surveyed	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
Inspection Record:				Zoning District (R-AB) Lakes Classification (N/A)	
Date of Inspection: 9/13/22		Inspected by: [Signature]		Date of Re-Inspection:	
Condition(s): Town, Committee or Board Conditions Attached? <input type="checkbox"/> Yes <input type="checkbox"/> No – (If No they need to be attached.) Build as proposed Get Required UDC Inspections					
Signature of Inspector: [Signature]				Date of Approval: 10/21/22	
Hold For Sanitary: <input type="checkbox"/> _____		Hold For TBA: <input type="checkbox"/> _____		Hold For Affidavit: <input type="checkbox"/> _____	
Hold For Fees: <input type="checkbox"/> _____		Hold For Fees: <input type="checkbox"/> _____		Hold For Fees: <input type="checkbox"/> _____	

1 JUL 2022

We are confirming the Rick Yerhot Builder (RYB, WI#1004874) is authorized to act on our behalf for all aspects of permitting, building, and managing the construction of our new home.

Location: 14935 Nordmor Road, Cable, WI, 54821 (TAX ID 10528).

If you have questions on any of these please feel free to call me on 612-322-5900.

Best regards, John Horns & Cathleen Villas-Horns

John Horns  
612 322 5900

1 Jul 2022

Cathleen Villas-Horns  
612-964-5597



**AFFIDAVIT OF AUTHORITY  
(Trust)**

**PURPOSE.** This Affidavit of Authority is used to certify the individual applying for a permit is authorized when the property is owned by a Trust.

STATE OF WISCONSIN     )  
  ) ss.  
BAYFIELD COUNTY        )

The undersigned affirms and states as follows:

14935 Nordmor Road, Cable, WI 54821

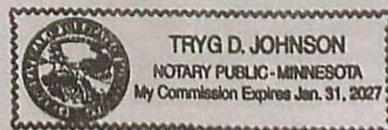
1. Address of Subject Property: \_\_\_\_\_
2. The Subject Property is owned by: Cathleen A. Villas-Horns Revocable Trust  
(Name of Trust)
3. The name(s) of the current Trustee(s): Cathleen A. Villas-Horns  
\_\_\_\_\_
4. I certify that the Trust named in paragraph 2 is valid and in effect on the date signed below. I am the duly appointed agent of the Trust named above in paragraph 2, and I have the authority under the terms of said authorization to apply for permits from the Bayfield County Zoning Department concerning the Property described in paragraph 1. I further certify that the information and statements made within this affidavit are true, accurate, and complete to the best of my knowledge.
5. I am authorized by the above-named Trust to apply for and bind the Trust to the terms and conditions of any permit that may be issue by the Bayfield County Zoning Department.
6. By signing this affidavit, I attest that I am unaware of any known or unknown person(s) who would contest this application. I agree to indemnify Bayfield County or such person or legal entity suffering a damage resulting from any illegalities of the application for permit.

Dated: 10-28-2022

Cathleen A. Villas-Horns  
Cathleen A. Villas-Horns  
Print Name

Subscribed and sworn to before me this 28th  
day of Oct, 2022.

[Signature]  
Notary Public, Tryg Johnson County, Wisconsin hannepin  
My commission: 01/31/2027





**AFFIDAVIT OF AUTHORITY  
(Trust)**

**PURPOSE.** This Affidavit of Authority is used to certify the individual applying for a permit is authorized when the property is owned by a Trust.

STATE OF WISCONSIN       )  
  ) ss.  
BAYFIELD COUNTY        )

The undersigned affirms and states as follows:

1. Address of Subject Property: 14935 Nordmor Road, Cable, WI 54821

2. The Subject Property is owned by: JOHN H. HORNS Revocable Trust  
(Name of Trust)

3. The name(s) of the current Trustee(s): JOHN H. HORNS

4. I certify that the Trust named in paragraph 2 is valid and in effect on the date signed below. I am the duly appointed agent of the Trust named above in paragraph 2, and I have the authority under the terms of said authorization to apply for permits from the Bayfield County Zoning Department concerning the Property described in paragraph 1. I further certify that the information and statements made within this affidavit are true, accurate, and complete to the best of my knowledge.

5. I am authorized by the above-named Trust to apply for and bind the Trust to the terms and conditions of any permit that may be issue by the Bayfield County Zoning Department.

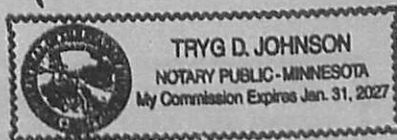
6. By signing this affidavit, I attest that I am unaware of any known or unknown person(s) who would contest this application. I agree to indemnify Bayfield County or such person or legal entity suffering a damage resulting from any illegalities of the application for permit.

Dated: 28 OCT 2022

John H Horns  
JOHN H. HORNS  
Print Name

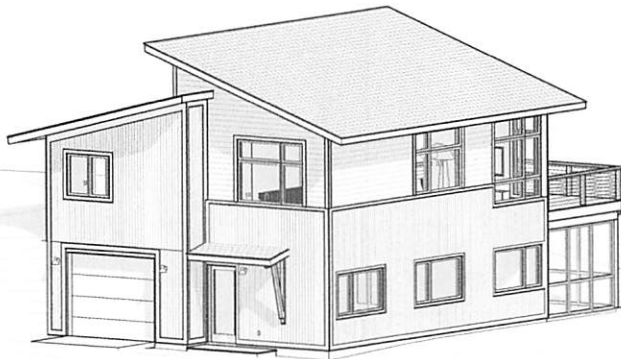
Subscribed and sworn to before me this 28th  
day of Oct, 2022

Notary Public, Tryg Johnson County, Wisconsin - Hennepin  
My commission: 01/31/2027



UPDATED 5/16/22

# TELEMARK BASE CAMP



## PROJECT INFORMATION

### PROJECT ADDRESS:

Nordmor Road

### CITY:

Cable, WI

### CLIENT:

Cathy Villas Horns and John Horns

### DESIGNER:

CRAFT DESIGN BUILD  
CONTACT: NATHANIEL TOLLEFSON

NATE@CRAFTDESIGNBUILD.WORKS  
612.685.0929

## Sheet List

Sheet Number	Sheet Name
A000	TITLE PAGE
A001	SITE PLAN
A100	FOUNDATION PLAN
A101	LOWER LEVEL
A102	MAIN LEVEL
A103	ROOF PLAN
A201	ELEVATIONS
A301	CROSS SECTION - LIVING
A302	CROSS SECTION - DINING
A303	CROSS SECTION - KITCHEN
A304	LONG SECTION
A401	CABINET ELEVATIONS
A501	DETAILS
A502	DETAILS
A701	STAIRS
A702	AWNING
E101	LOWER LEVEL
E102	UPPER LEVEL

## GENERAL CONSTRUCTION NOTES

- THIS SET OF PLANS HAS NOT BEEN REVIEWED BY A LICENSED STRUCTURAL ENGINEER
- STRUCTURAL ELEMENTS SPECIFIED REPRESENT DESIGN INTENT ONLY AND ARE TO BE VERIFIED BY BUILDER
- FOUNDATION SIZE, STRENGTH AND COMPOSITION TO BE CONFIRMED BY BUILDER/CONTRACTOR
- ALL CONCRETE REINFORCEMENT TO BE SPECIFIED BY CONTRACTOR PER CODE
- ALL WORK TO COMPLY WITH WISCONSIN UNIFORM DWELLING CODE

## NOTES

- PRIMARY DIMENSIONS TO OUTSIDE OF SHEATHING OR OUTSIDE OF CONCRETE AT EXTERIOR WALLS, CENTER OF INTERIOR WALLS, CENTER OF WINDOWS / DOORS U.N.O.
- TYP. EXTERIOR WALLS TO BE 2X6 @ 16" O.C.
- TYP. INTERIOR WALLS TO BE 2X4 @ 16" O.C.
- 2 TRIMMERS AND ONE KING STUD FOR EVERY OPENING OVER 5' U.N.O.
- ROOFING TO BE 30 YEAR ASPHALT SHINGLES
- LOWER LEVEL FLOOR TO BE TILE EXCEPT FOR GARAGE AND UTILITY ROOM
- UPPER LEVEL TO BE HARDWOOD WITH TILE AT ENTRY, KITCHEN AND BATHROOMS
- INTERIOR FINISH TO BE 1/2" SHEETROCK U.N.O.
- LOWER LEVEL FLOOR INSULATED PER CODE (SPS 322.31)
- CONCRETE BASEMENT WALLS INSULATED TO MIN. R-15/19 PER CODE (SPS 322.31)
- EXT. FRAME WALLS INSULATED TO MIN. R-21 PER CODE (SPS 322.31)
- INSULATE GARAGE CEILING TO MIN. R-49 PER CODE (SPS 322.31)
- ROOF INSULATED TO MIN. R-49 PER CODE (SPS 322.31)
- SPRAY ALL RIMS AND TRUSS HEELS PER CODE (CONTINUOUS WITH WALL WHENEVER POSSIBLE)

## ENERGY COMPLIANCE CHECKLIST

- NON SITE BUILT FENESTRATION TO HAVE INFILTRATION RATES PER NFRC 400
- IC RATED RECESSED LIGHTING FIXTURES SEALED AT HOUSING/INTERIOR FINISH WITH 2.0 CFM LEAKAGE AT 75 PA
- AUTOMATIC OR GRAVITY DAMPERS INSTALLED ON ALL OUTDOOR AIR INTAKES AND EXHAUSTS
- BUILDING ENVELOPE TIGHTNESS VERIFIED BY BLOWER DOOR TEST RESULT OF LESS THAN 7 ACH AT 50 PA OR BY VISUAL INSPECTION
- U FACTORS OF FENESTRATION PRODUCTS IN ACCORDANCE WITH NFRC
- SLAB EDGE INSULATION INSTALLED PER MANUFACTURERS INSTRUCTIONS
- CONDITIONED BASEMENT WALL INSULATION INSTALLED PER MANUFACTURER'S INSTRUCTIONS
- WALL INSULATION INSTALLED PER MANUFACTURER'S INSTRUCTIONS
- CEILING INSULATION INSTALLED PER MANUFACTURER'S INSTRUCTIONS
- ATTIC ACCESS HATCH AND DOOR INSULATION TO HAVE GREATER THAN OR EQUAL R VALUE OF THE ADJACENT ASSEMBLY
- BUILDING ENVELOPE TO COMPLY WITH ENERGY CODE, COMPLIANCE CERTIFICATE TO BE POSTED

## Window Schedule

Type Mark	Width	Height	Count
6-0 x 1-7 1/8	6' - 0"	1' - 7 1/8"	3
5-0 X 3-11 1/8	5' - 0"	3' - 11 1/8"	6
5-0 X 1-11 1/8	5' - 0"	1' - 11 1/8"	4
2-6 X 3-11 1/8	2' - 6"	3' - 11 1/8"	12
2-6 X 1-11 1/8	2' - 6"	1' - 11 1/8"	9
Grand total: 34			

- ALL UNITS FIXED UNLESS NOTED OTHERWISE
- ALL DIMENSIONS AND TAGS FRAME SIZES
- ALL OPERABLE WINDOWS TO HAVE SCREENS

## Door Schedule

Type Mark	Width	Height	Count
10-0 X 8-0 (OH)	10' - 0"	8' - 0"	1
4-0 X 6-8 (C)	4' - 0"	6' - 8"	1
3-6 X 6-8 (S)	3' - 6"	6' - 8"	2
3-1 7/16 X 7-2 (E)	3' - 1 7/16"	7' - 2"	4
3-0 X 6-8	3' - 0"	6' - 8"	2
2-8 X 6-8 (P)	2' - 8"	6' - 8"	4
2-8 X 6-8	2' - 8"	6' - 8"	5

- ALL DIMENSIONS AND TAGS FRAME SIZES
- EXTERIOR DOORS TO COME WITH SCREEN DOOR ONLY WHERE NOTED ON PLANS
- "OH" DENOTES OVERHEAD GARAGE DOOR
- "E" DENOTES EXTERIOR GLASS DOOR
- "P" DENOTES POCKET DOOR
- "S" DENOTES DOUBLE SLIDING CLOSET DOOR
- "C" DENOTES FRENCH CLOSET DOOR

ISSUE	DATE
BID SET	11/18/21
REVISIONS	12/09/21
REVISED BID SET	01/14/22
CONST. REVIEW SET	05/16/22

**craft**  
design · build

2723 Harriet Ave.  
Minneapolis, MN 55408

612.685.0929

craftdesignbuild.works

## Construction Review

Telemark Base Camp

Nordmor Road  
Cable, WI

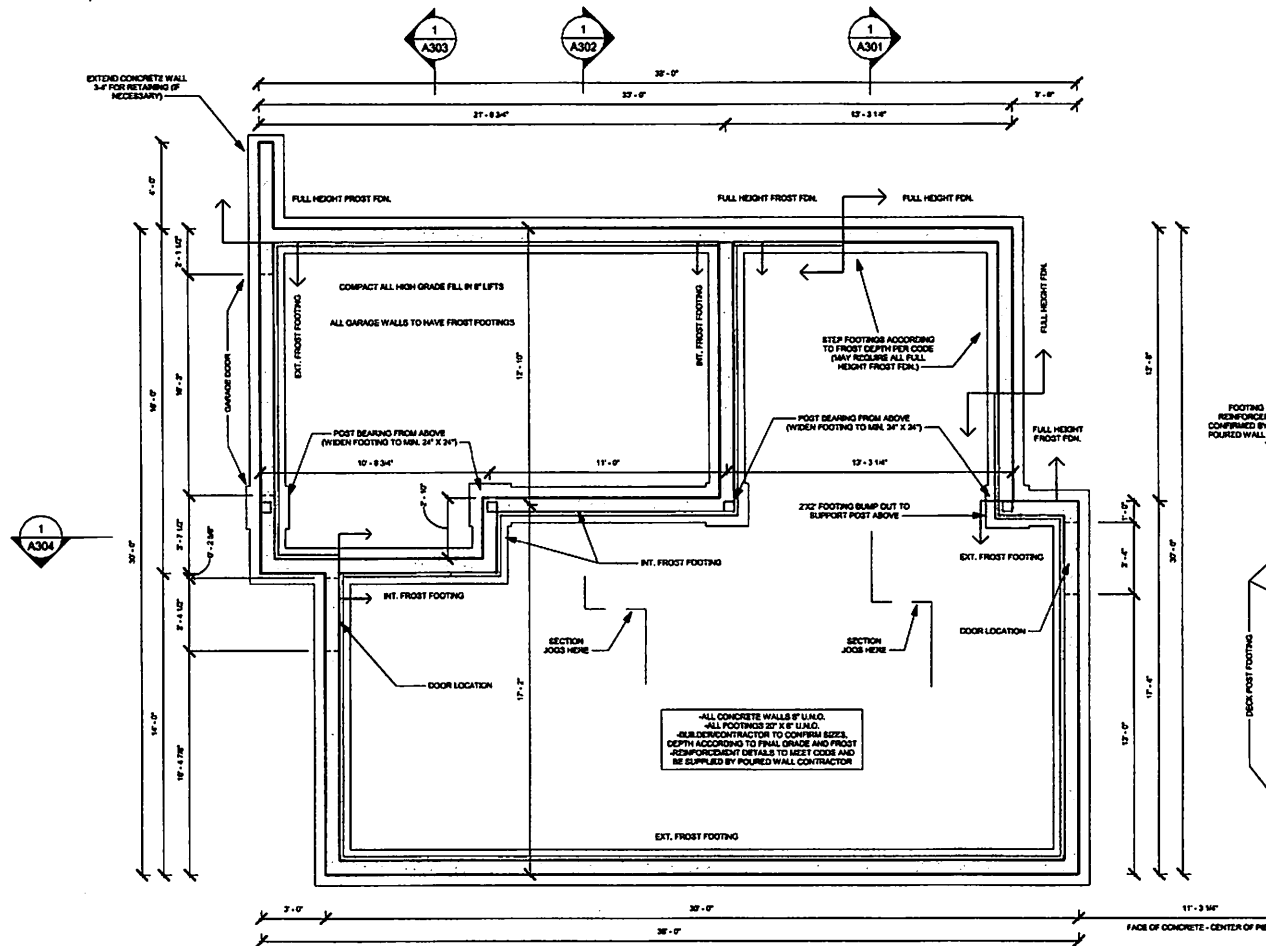
JOB NO: 211013

SHEET NO:

**A000**

TITLE PAGE

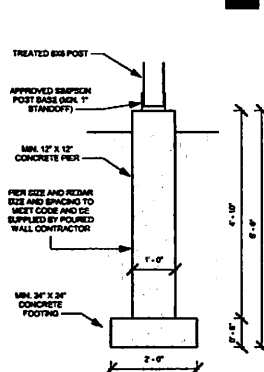
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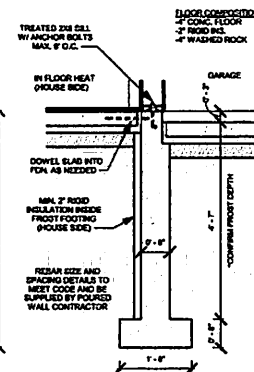
1 Footings  
1/4" = 1'-0"

#### NOTES

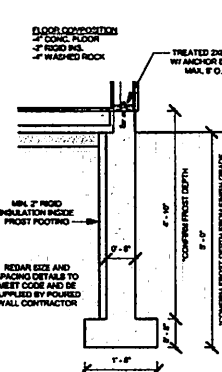
- PRIMARY DIMENSIONS TO OUTSIDE OF SHEATHING OR OUTSIDE OF CONCRETE AT EXTERIOR WALLS, CENTER OF INTERIOR WALLS, CENTER OF WINDOWS / DOORS U.N.O.
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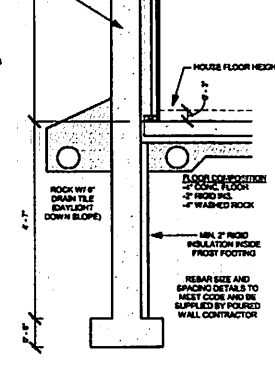
2 DECK POST FOUNDATION  
1/2" = 1'-0"



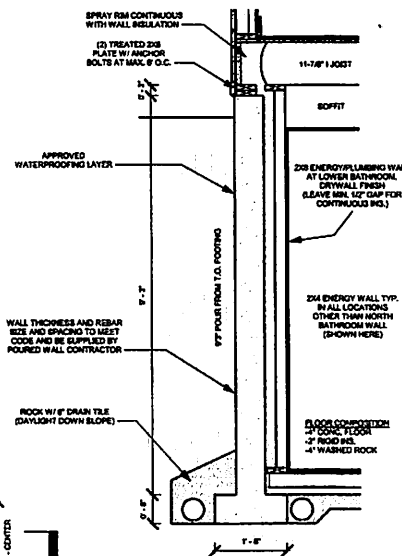
3 Interior Frost Footing  
1/2" = 1'-0"



4 Exterior Frost Footing  
1/2" = 1'-0"



5 Full Height Frost Foundation  
1/2" = 1'-0"



6 Full Height Foundation  
1/2" = 1'-0"

ISSUE	DATE
BID SET	11/18/21
REVISIONS	12/09/21
REVISED BID SET	01/16/22
CONST. REVIEW SET	05/16/22

**craft**  
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2723 Harriet Ave.  
Minneapolis, MN 55408

612.685.0929

craftdesignbuild.works

Construction Review

Telemark Base Camp

Nordmor Road  
Cable, WI

JOB NO: 211013

SHEET NO:

**A100**

FOUNDATION PLAN

5/15/2022 7:14:02 PM

NOT FOR CONSTRUCTION

ISSUE	DATE
BID SET	11/18/21
REVISIONS	12/09/21
REVISED BID SET	01/14/22
CONST. REVIEW SET	05/16/22

**craft**  
design · build

2723 Harriet Ave.  
Minneapolis, MN 55408

612.685.0929

craftdesignbuildworks

Construction Review

Telemark Base Camp

Nordmor Road  
Cable, WI

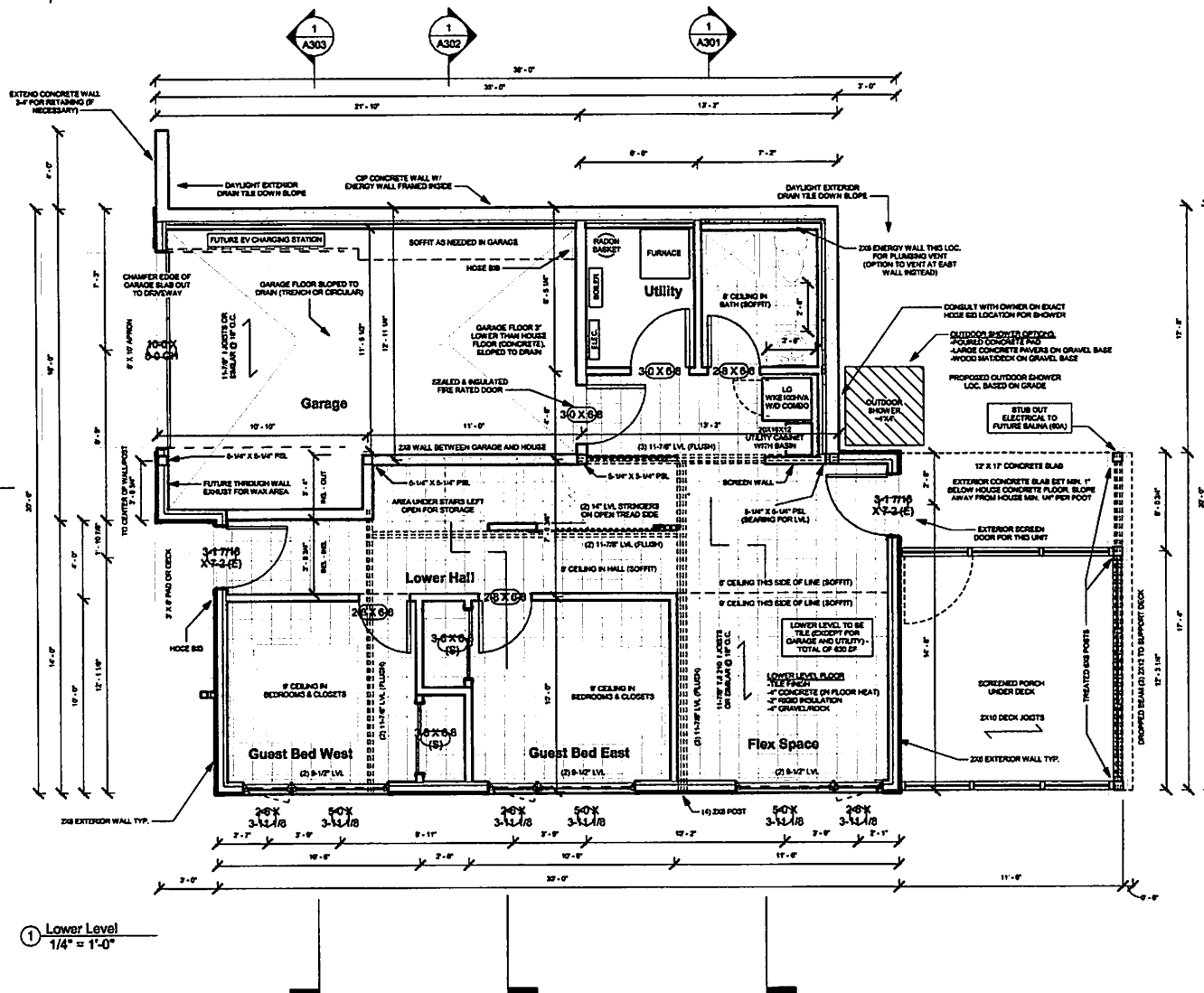
JOB NO: 211013

SHEET NO:

**A101**

LOWER LEVEL

5/16/2022 7:44:03 PM



1 Lower Level  
1/4" = 1'-0"

- NOTES**
- PRIMARY DIMENSIONS TO OUTSIDE OF SHEATHING OR OUTSIDE OF CONCRETE AT EXTERIOR WALLS, CENTER OF INTERIOR WALLS, CENTER OF WINDOWS / DOORS U.N.O.
  - TYP. EXTERIOR WALLS TO BE 2X8 @ 16" O.C.
  - TYP. INTERIOR WALLS TO BE 2X4 @ 16" O.C.
  - 2 TRIMMERS AND ONE KING STUD FOR EVERY OPENING OVER 5' U.N.O.
  - ROOFING TO BE 30 YEAR ASPHALT SHINGLES
  - LOWER LEVEL FLOOR TO BE TILE EXCEPT FOR GARAGE AND UTILITY ROOM
  - UPPER LEVEL TO BE HARDWOOD WITH TILE AT ENTRY, KITCHEN AND BATHROOMS
  - INTERIOR FINISH TO BE 1/2" SHEETROCK U.N.O.
  - LOWER LEVEL FLOOR INSULATED PER CODE (SPS 322.31)
  - CONCRETE BASEMENT WALLS INSULATED TO MIN. R-15/19 PER CODE (SPS 322.31)
  - EXT. FRAME WALLS INSULATED TO MIN. R-21 PER CODE (SPS 322.31)
  - INSULATE GARAGE CEILING TO MIN. R-49 PER CODE (SPS 322.31)
  - ROOF INSULATED TO MIN. R-49 PER CODE (SPS 322.31)
  - SPRAY ALL RIMS AND TRUSS HEELS PER CODE (CONTINUOUS WITH WALL WHENEVER POSSIBLE)



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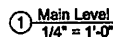
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Nordmor Road  
C.H. 111

## MAIN LEVEL

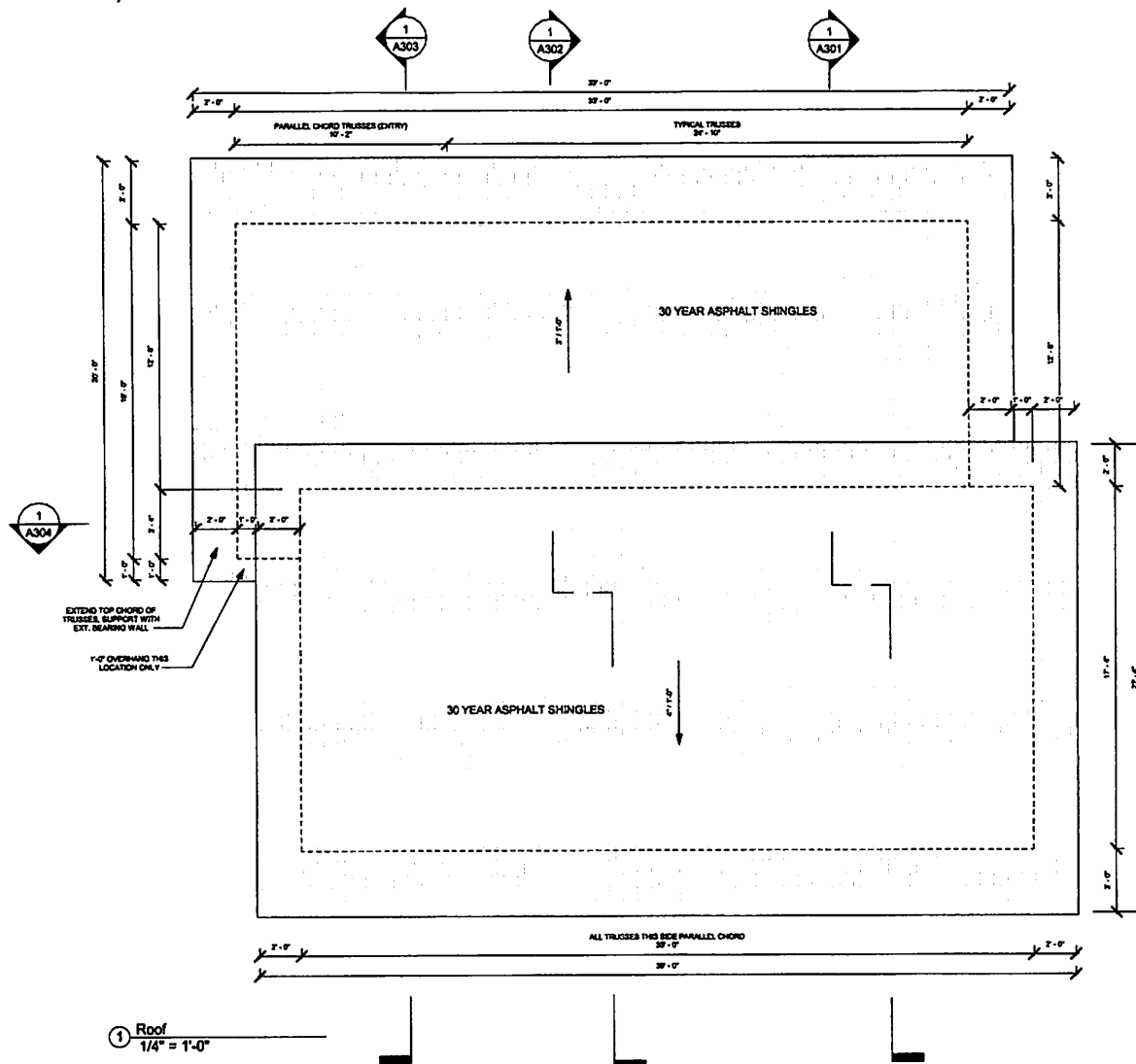
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- 1-PRIMARY DIMENSIONS TO OUTSIDE OF SHEATHING OR OUTSIDE OF CONCRETE AT EXTERIOR WALLS, CENTER OF INTERIOR WALLS, CENTER OF WINDOWS / DOORS U.N.O.
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**A103**

ROOF PLAN

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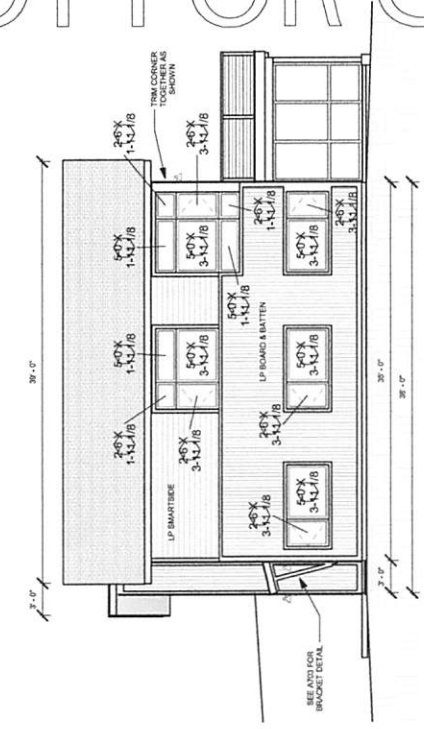
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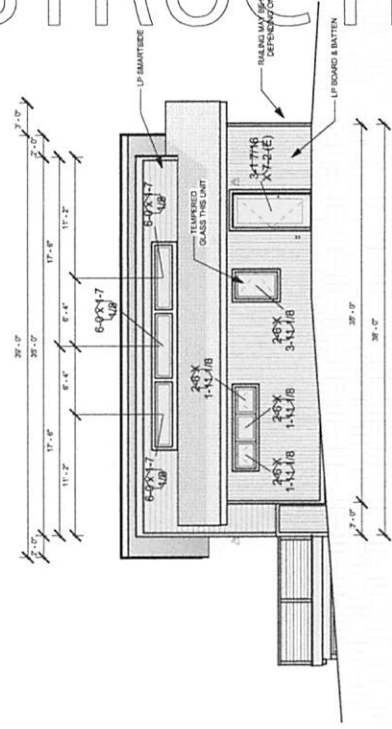
JOB NO: 211013

SHEET NO:  
**A201**  
ELEVATIONS

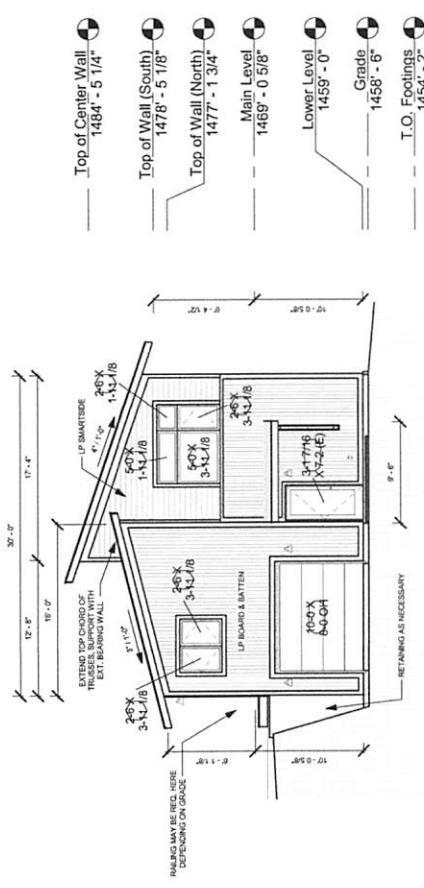
NOT FOR CONSTRUCTION



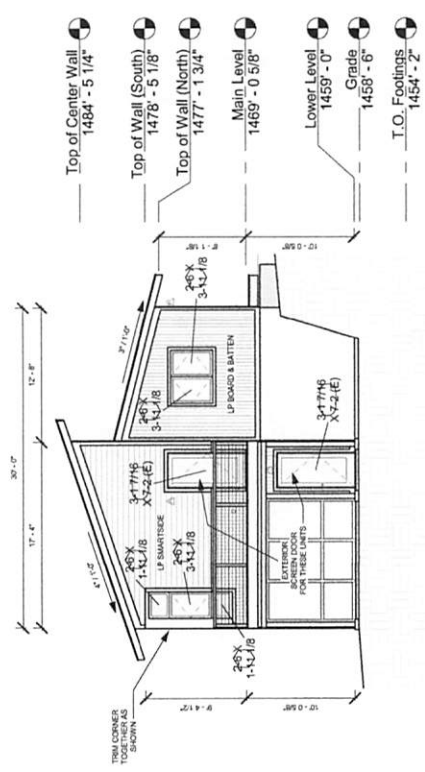
② Elevation - South  
1/8" = 1'-0"



④ Elevation - North  
1/8" = 1'-0"



① Elevation - West  
1/8" = 1'-0"



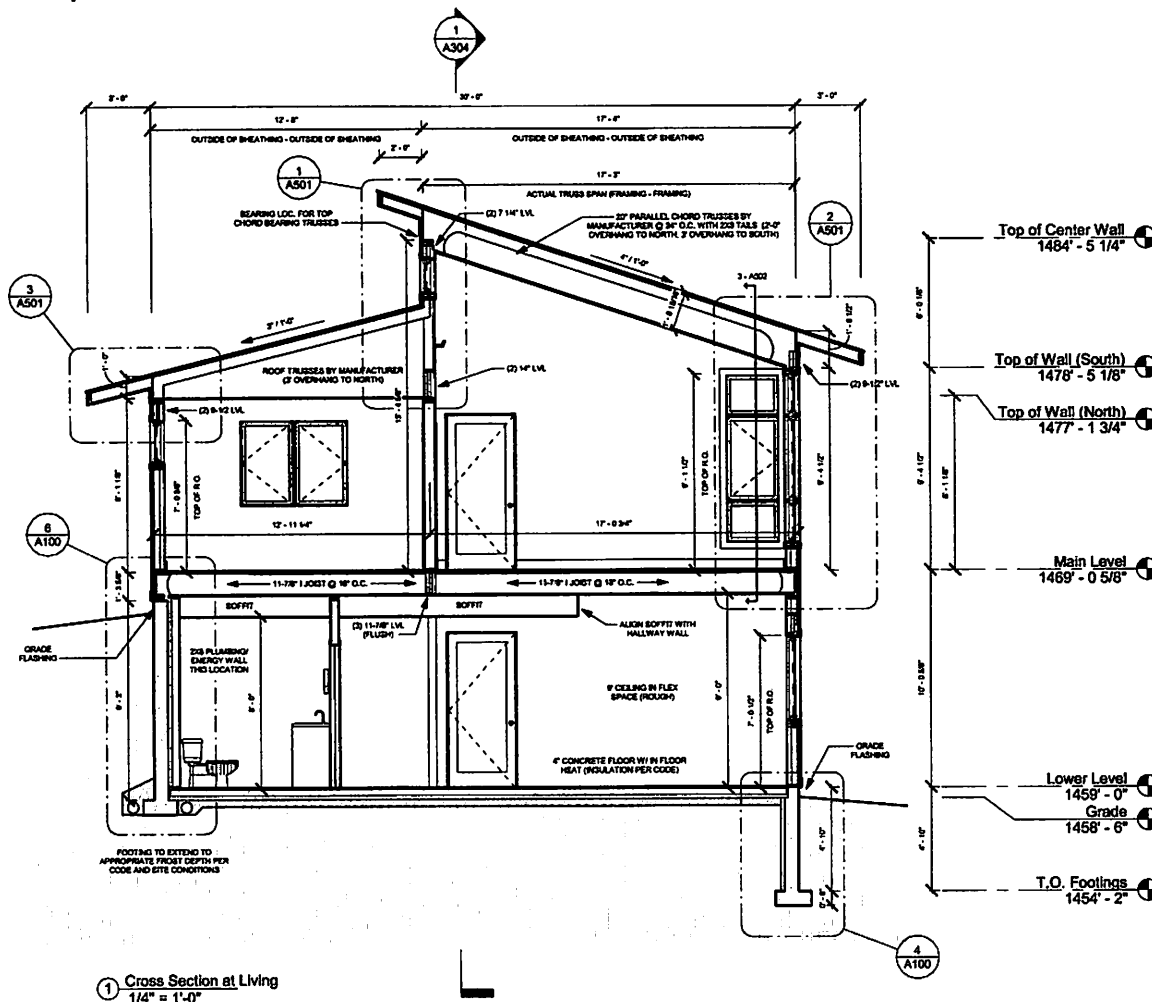
③ Elevation - East  
1/8" = 1'-0"

**ELEVATION NOTES**  
-ALL TAGS AND DIMENSIONS INDICATE FRAME SIZES  
-ALL OPERABLE WINDOWS TO HAVE SCREENS  
-DOORS TO HAVE EXTERIOR SCREEN DOOR ONLY WHERE NOTED  
-VERTICAL SIDING TO BE SMOOTH FACE LP BOARD & BATTEN (COLOR: XXX)  
-HORIZONTAL SIDING TO BE 6" SMOOTH FACE LP SMARTSIDE (COLOR: XXX)  
-TRIM TO BE SMOOTH FACE LP TRIM (COLOR: XXX)

- Top of Center Wall 1484' - 5 1/4"
- Top of Wall (South) 1478' - 5 7/8"
- Top of Wall (North) 1477' - 1 3/4"
- Main Level 1469' - 0 5/8"
- Lower Level 1459' - 0"
- Grade 1458' - 6"
- T.O. Footings 1454' - 2"

- Top of Center Wall 1484' - 5 1/4"
- Top of Wall (South) 1478' - 5 7/8"
- Top of Wall (North) 1477' - 1 3/4"
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**A301**  
CROSS SECTION -  
LIVING

5/16/2022 7:44:08 PM



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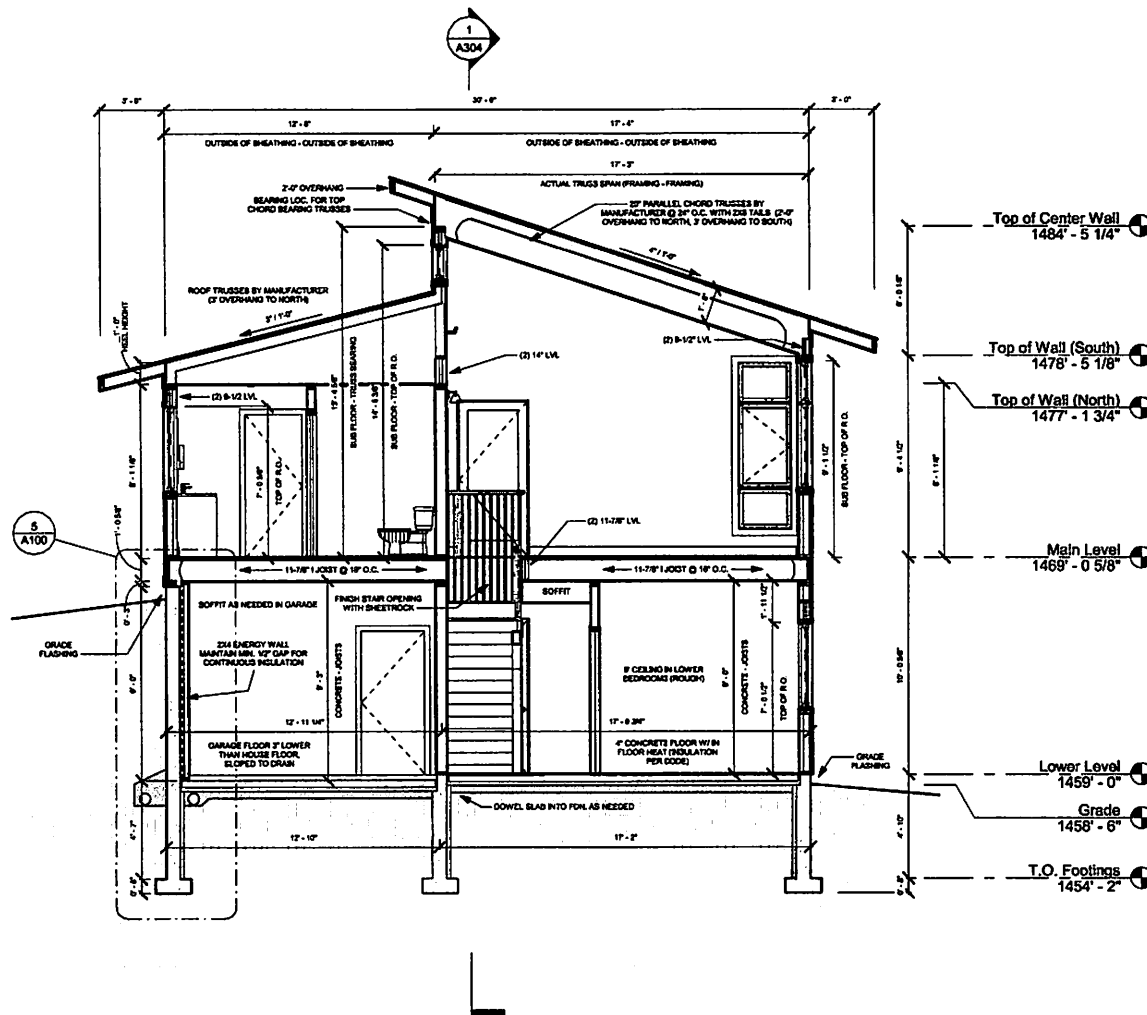
SHEET NO:

**A302**

CROSS SECTION -  
DINING

5/16/2022 7:44:10 PM

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1 Cross Section at Dining  
1/4" = 1'-0"

#### NOTES

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Cable, WI

LONG SECTION

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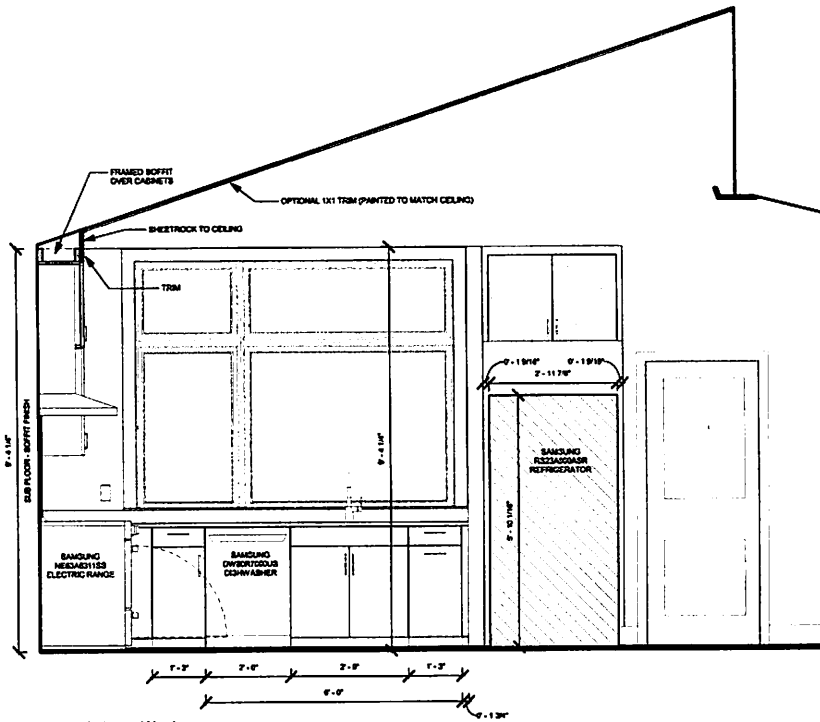
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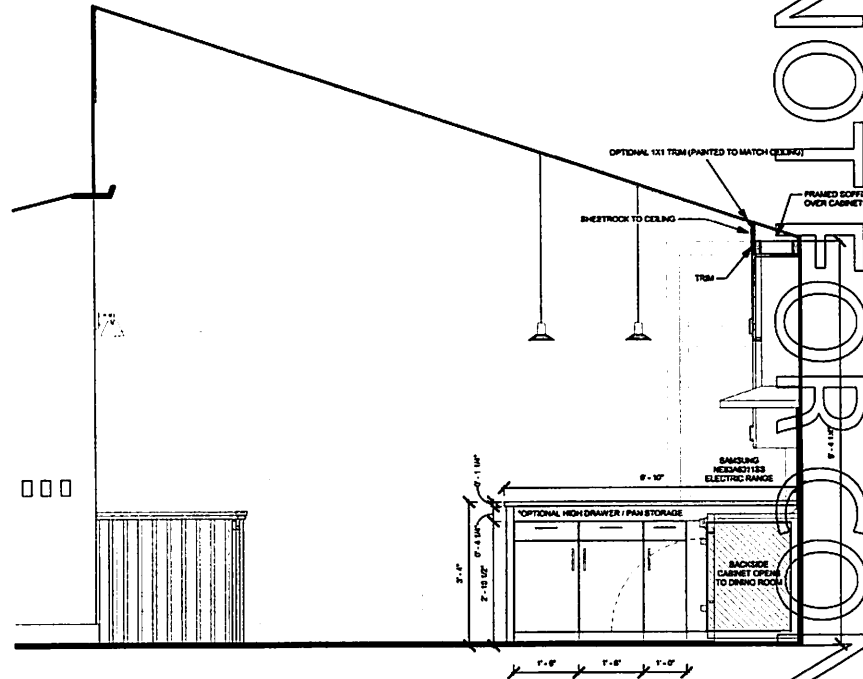
**A401**  
CABINET  
ELEVATIONS

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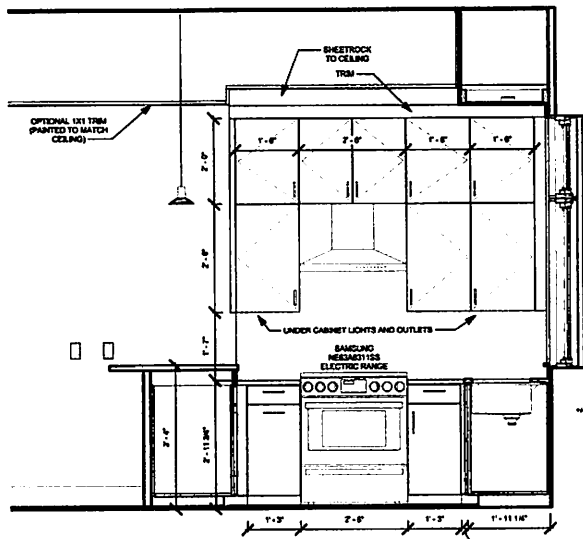


① Kitchen - West  
1/2" = 1'-0"

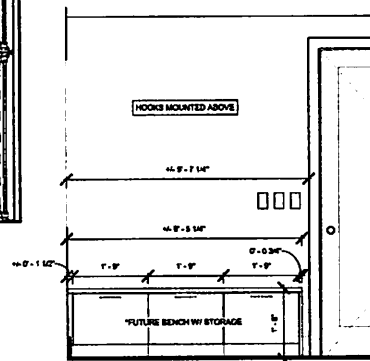


② Kitchen - East  
1/2" = 1'-0"

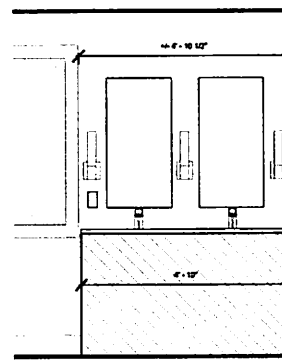
\*CABINETS AND FIXTURES SHOWN ARE PLACEHOLDERS



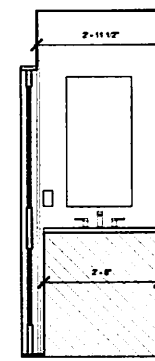
③ Kitchen - South  
1/2" = 1'-0"



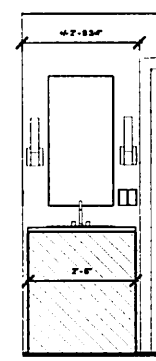
④ Entry Bench  
1/2" = 1'-0"



⑤ Owner's Bath Vanity  
1/2" = 1'-0"



⑥ Powder Vanity  
1/2" = 1'-0"



⑦ Lower Bath Vanity  
1/2" = 1'-0"

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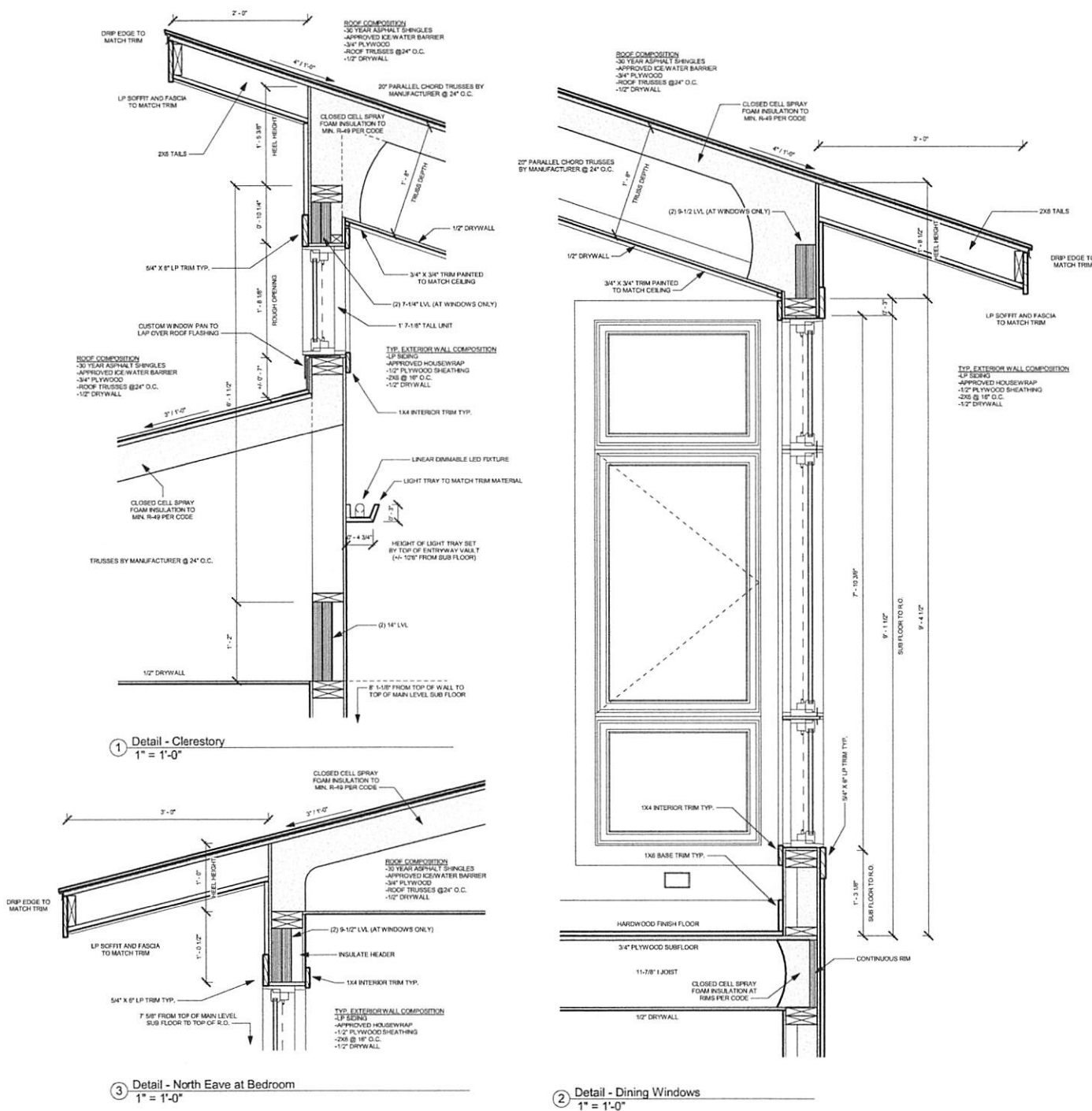
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# A501

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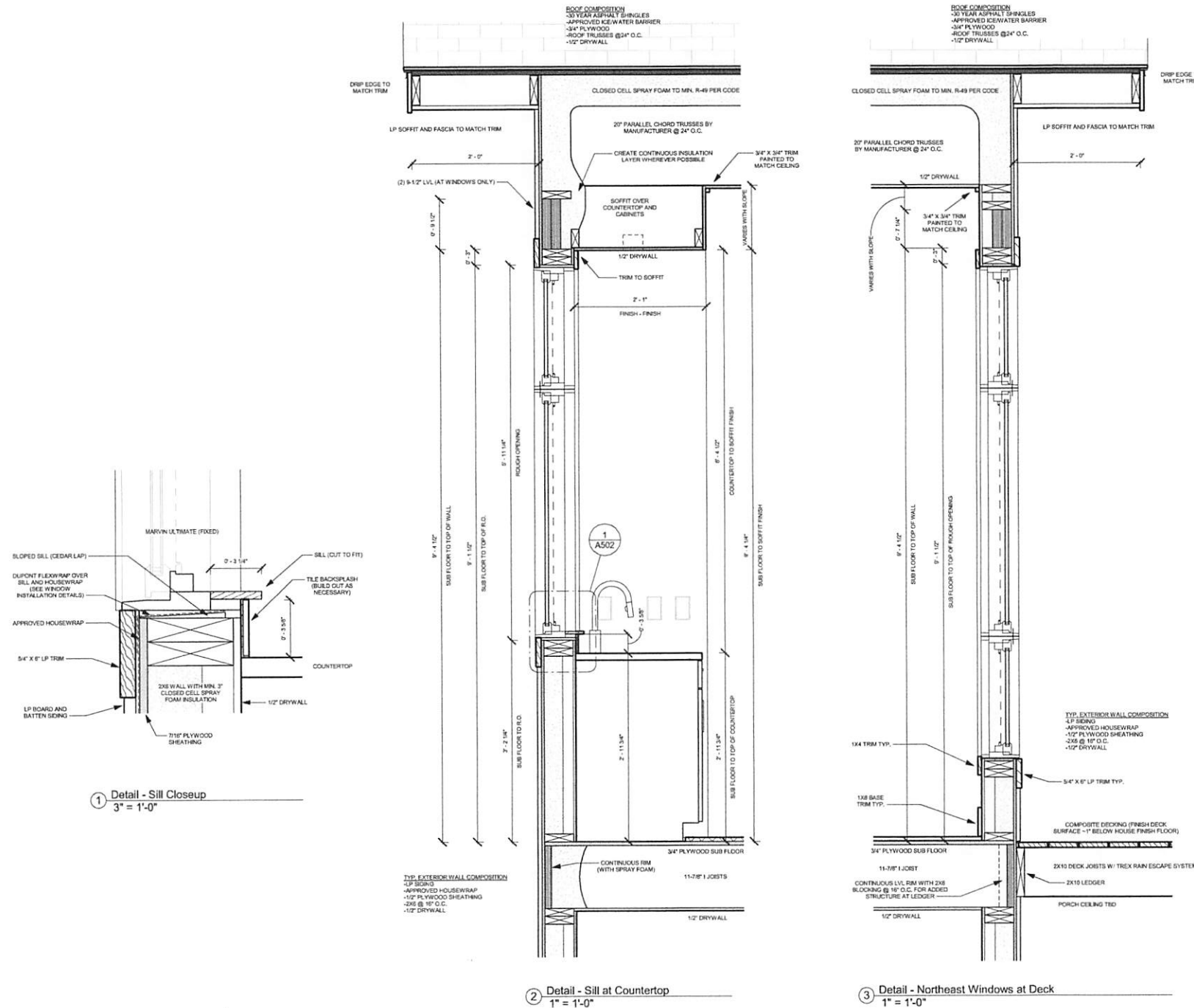
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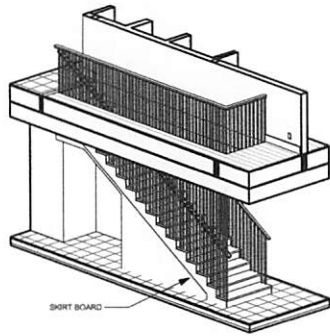
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## A502

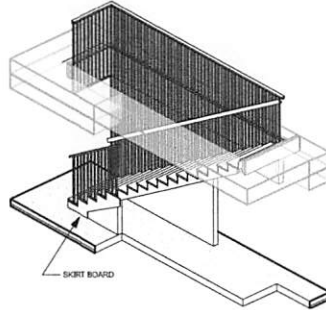
## DETAILS

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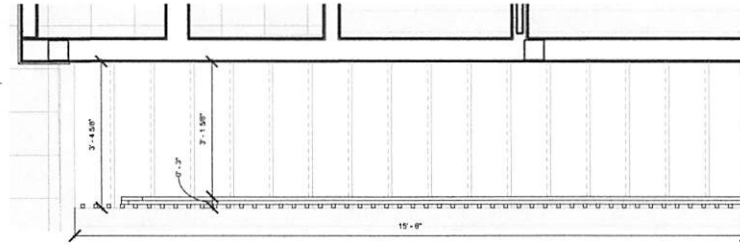
1 Stair Axon 1



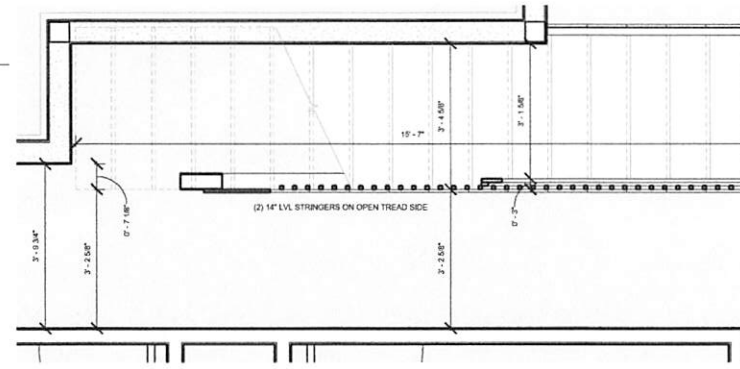
2 Stair Axon 2

3  
A701

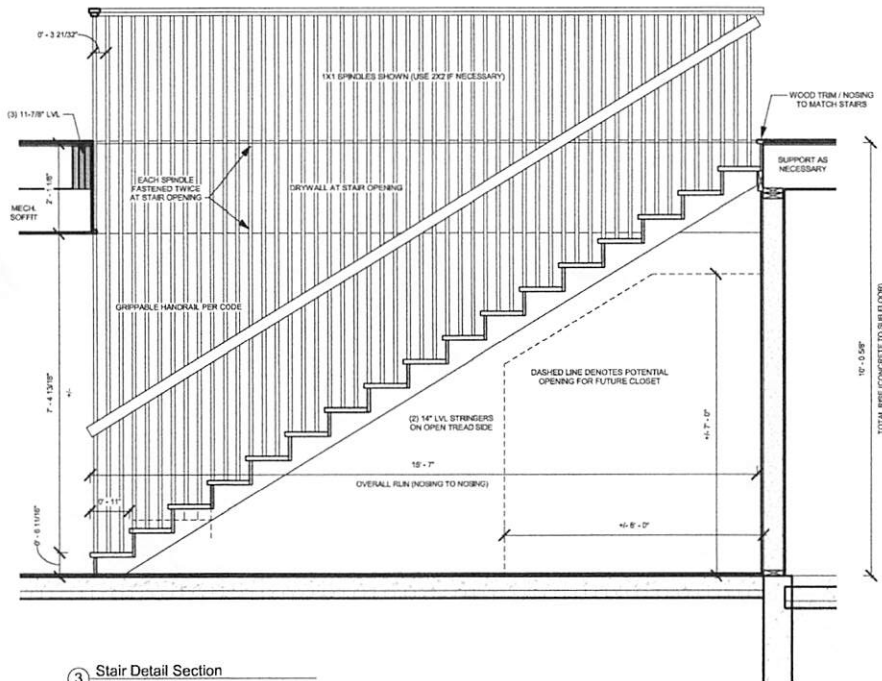
3  
A701



4 Stair Plan - Upper  
1/2" = 1'-0"



5 Stair Plan - Lower  
1/2" = 1'-0"



3 Stair Detail Section  
1/2" = 1'-0"

\*DRAWINGS FOR DESIGN INTENT ONLY

**STAIR & RAILING NOTES:**  
 -SPINDLES EITHER 1X1 OR 2X2 (DEPENDING ON SPECIES, GRADE, ETC.)  
 -DESIRE IS FOR SPINDLES AND HAND RAILS TO MATCH TRIM MATERIAL  
 -WOOD TREADS AND RISERS TO MATCH  
 -STAIR TREADS TO EXTEND SLIGHTLY PAST SKIRT BOARD(S)

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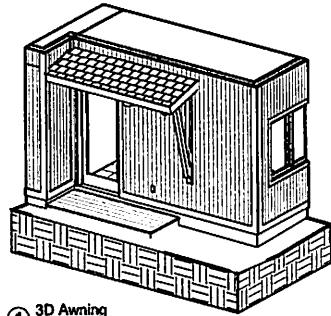
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SHEET NO:

**A701**

STAIRS

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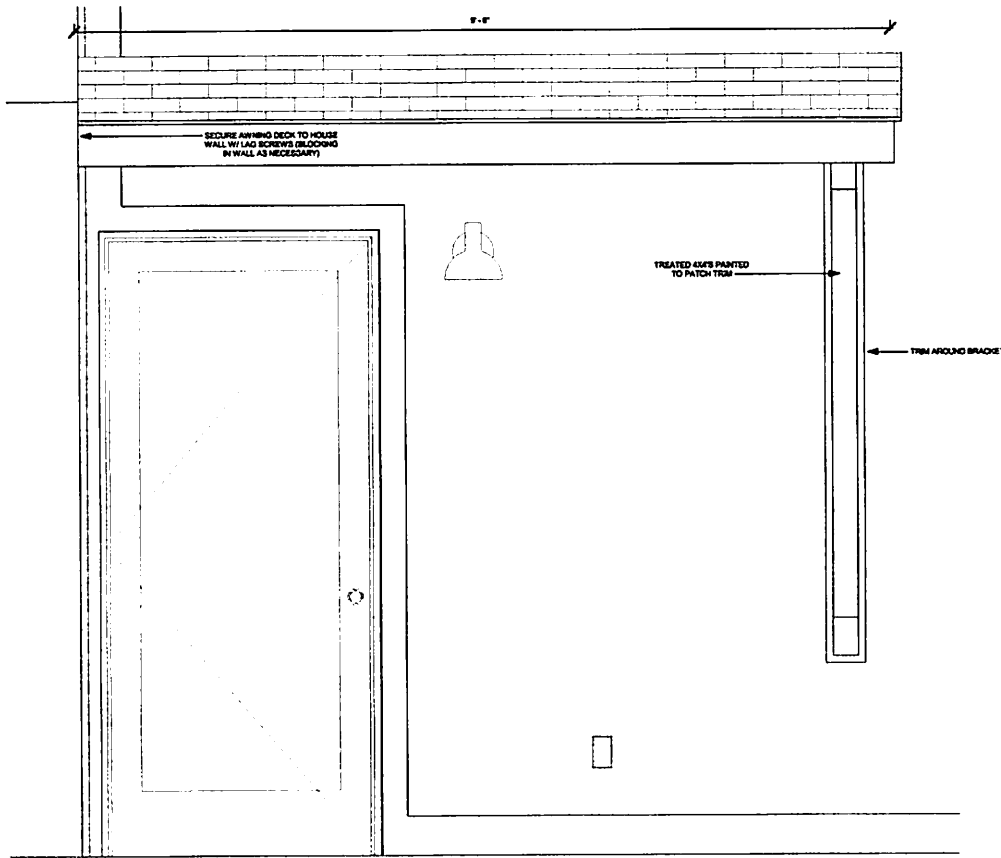


① 3D Awning

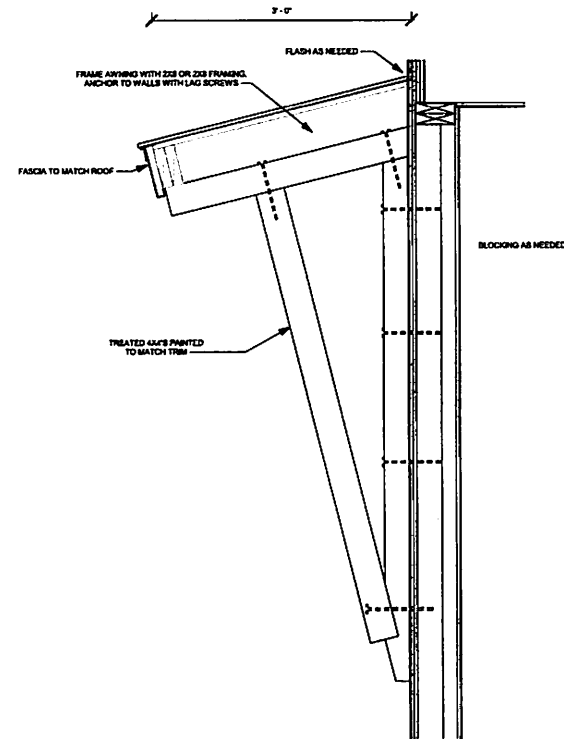
## \*DRAWINGS FOR DESIGN INTENT ONLY

### AWNING NOTES:

- AWNING ROOF TO BE SUPPORTED ON ONE SIDE BY CUSTOM BRACKET
- BRACKET TO BE MADE OF TREATED 4X4, PAINTED TO MATCH TRIM OR SIDING
- BLOCKING ADDED BEHIND BRACKET AND WHERE AWNING MEETS HOUSE AS NEEDED



② Elevation 5 - a  
1" = 1'-0"



③ Detail - Bracket  
1" = 1'-0"

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SHEET NO:

**A702**

AWNING

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SHEET NO:

E101

LOWER LEVEL

JOB NO: 211013

SHEET NO:

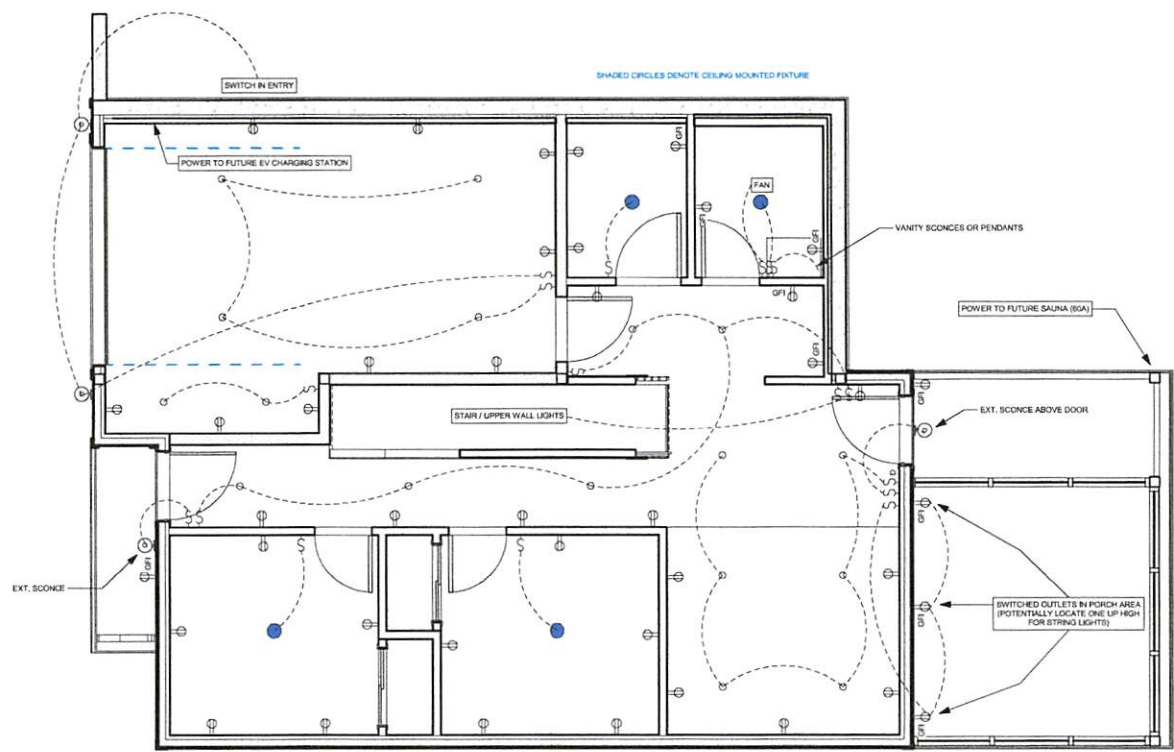
E101

LOWER LEVEL

NOT FOR CONSTRUCTION

## FIXTURES

EXTERIOR SCONCES
CEILING MOUNTED FIXTURE (UTILITY)
CEILING MOUNTED FIXTURE (BATH)
VANITY LIGHTS
CEILING MOUNTED FIXTURE (BEDROOMS)
RECESSED LIGHTS
SCREENED PORCH LIGHTS



① Ceiling Plan - Lower Level  
1/4" = 1'-0"

NOTES  
-FIXTURES ARE YET TO BE SELECTED

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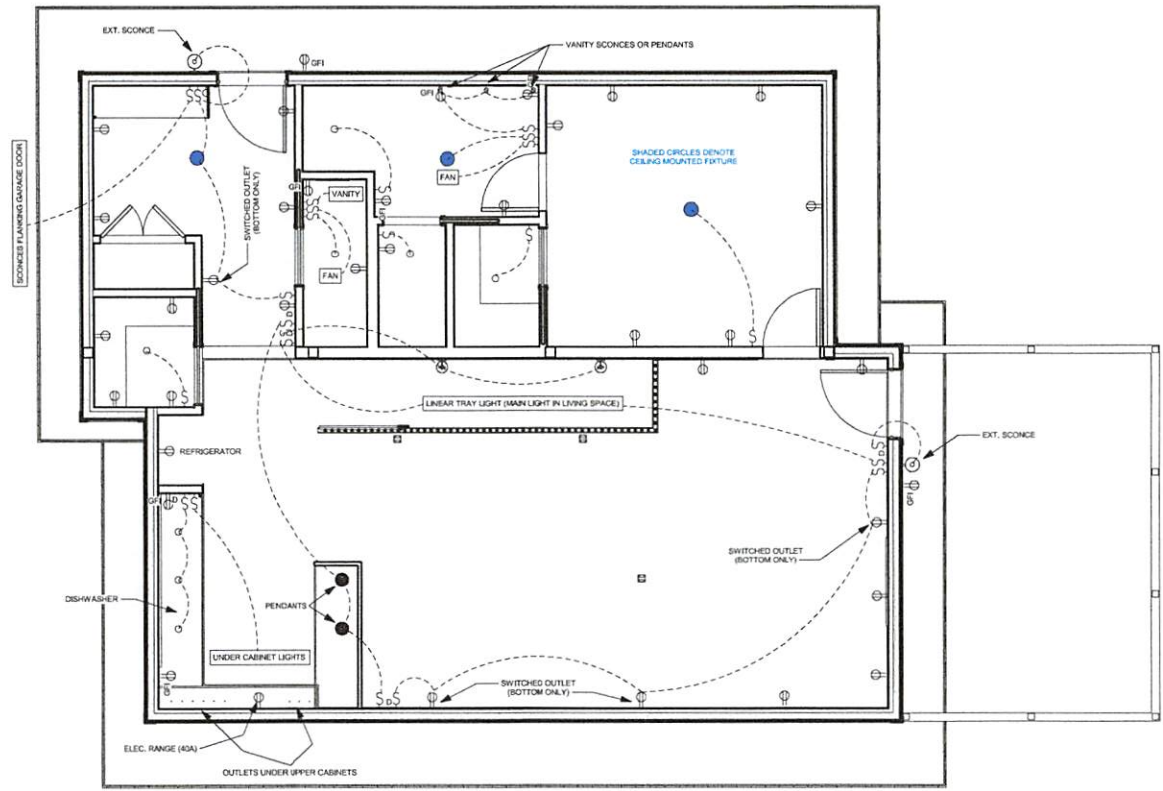
**E102**

UPPER LEVEL

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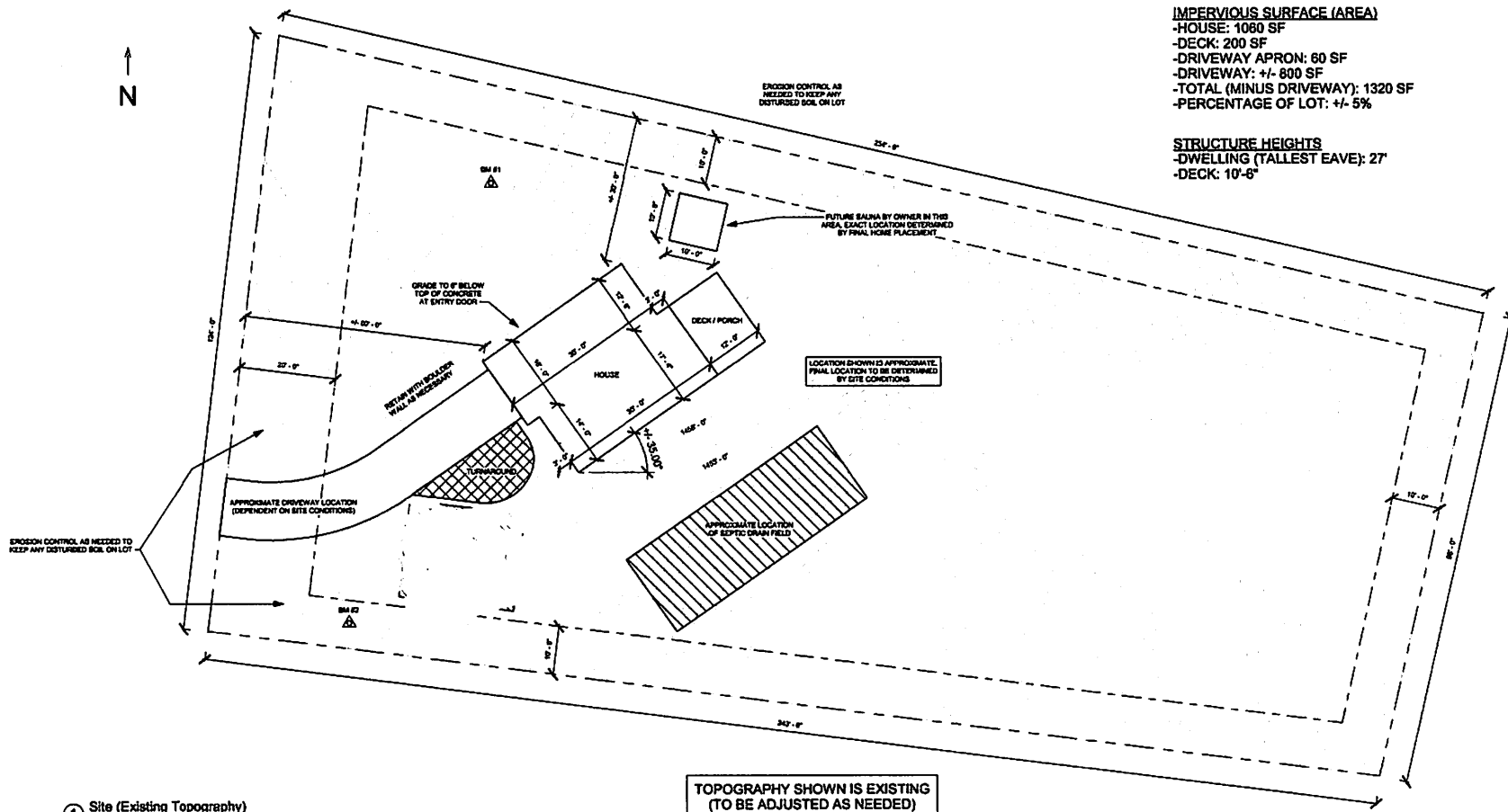
## FIXTURES

EXTERIOR SCONCES
TRAY LIGHT
CEILING MOUNTED FIXTURE (ENTRY)
CEILING MOUNTED FIXTURE (BEDROOM)
CEILING MOUNTED FIXTURE (BATHROOM)
VANITY LIGHTS
RECESSED LIGHTS
PENDANT (KITCHEN ISLAND)
STAR LIGHTS (WALL MOUNTED)



1 Ceiling Plan - Main Level  
1/4" = 1'-0"

NOTES  
-FIXTURES ARE YET TO BE SELECTED



① Site (Existing Topography)  
1/16" = 1'-0"

#### SITE NOTES

- THERE ARE NO EXISTING STRUCTURES ON THE SITE
- STRUCTURAL FOUNDATIONS, BASEMENT AND DRIVEWAY TO BE EXCAVATED AS NECESSARY
- ALL EXCAVATED SOIL TO BE RE-DISTRIBUTED ON SITE
- TREES REMOVED ONLY WHERE NECESSARY FOR STRUCTURE, DRIVEWAY OR SEPTIC
- SILT LOGS TO BE USED FOR EROSION CONTROL
- FINISHED GRADE TO SLOPE AWAY FROM DWELLING MIN. 1/2" PER FOOT (SPS 321.12)
- LOCATION SHOWN IS APPROXIMATE

#### IMPERVIOUS SURFACE (AREA)

- HOUSE: 1060 SF
- DECK: 200 SF
- DRIVEWAY APRON: 60 SF
- DRIVEWAY: +/- 600 SF
- TOTAL (MINUS DRIVEWAY): 1320 SF
- PERCENTAGE OF LOT: +/- 5%

#### STRUCTURE HEIGHTS

- DWELLING (TALLEST EAVE): 27'
- DECK: 10'-6"

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REVISED	12/09/21
REVISED BID SET	01/14/22
CONST. REVIEW SET	05/16/22
CONST. SET	07/18/22

**craft**  
design · build

2723 Harriet Ave.  
Minneapolis, MN 55408

612.685.0929

craftdesignbuild.works

Construction Set

Telemark Base Camp

Nordmor Road  
Cable, WI

JOB NO: 211013

SHEET NO:

**A001**

SITE PLAN

8/24/2022 2:32:21 PM



# Real Estate Bayfield County Property Listing

Today's Date: 10/21/2022

Property Status: **Current**

Created On: 3/15/2006 1:15:09 PM

## Description Updated: 10/13/2021

**Tax ID:** 10528  
**PIN:** 04-012-2-43-07-21-3 00-284-25000  
 Legacy PIN: 012121409000  
 Map ID:  
 Municipality: (012) TOWN OF CABLE  
 STR: S21 T43N R07W  
 Description: SKI VILLAGE NORTH SECTION OF  
 TELEMAR VILLAGES SE SE LOT 4  
 CLUSTER IV IN DOC 2021R-591202  
 1195 (CATHLEEN A VILLAS-HORNS REV  
 TRUST DTD 12/07/2000 & JOHN H  
 HORNS REV TRUST U/A DTD  
 12/07/2000)  
 Recorded Acres: 0.620  
 Calculated Acres: 0.635  
 Lottery Claims: 0  
 First Dollar: No  
 Zoning: (R-RB) Residential-Recreational Business  
 ESN: 108

## Tax Districts Updated: 3/15/2006

1 STATE  
 04 COUNTY  
 012 TOWN OF CABLE  
 041491 SCHL-DRUMMOND  
 001700 TECHNICAL COLLEGE

## Recorded Documents Updated: 3/15/2006

**WARRANTY DEED**  
 Date Recorded: 9/30/2021 2021R-591202  
**CONVERSION**  
 Date Recorded: 499417 523-228;918-683  
**WARRANTY DEED**  
 Date Recorded: 5/26/2005 2005R-499417

## Ownership Updated: 10/13/2021

**CATHLEEN A VILLAS-HORNS REV TRUST** EDINA MN  
**JOHN H HORNS REV TRUST** EDINA MN

### Billing Address:

**CATHLEEN A VILLAS-HORNS  
 REV TRUST**  
 6101 JEFFREY LANE  
 EDINA MN 55436

### Mailing Address:

**CATHLEEN A VILLAS-HORNS  
 REV TRUST**  
 6101 JEFFREY LANE  
 EDINA MN 55436

## Site Address \* indicates Private Road

N/A

## Property Assessment Updated: 6/1/2010

### 2022 Assessment Detail

Code	Acres	Land	Imp.
G1-RESIDENTIAL	0.620	6,200	0

### 2-Year Comparison

	2021	2022	Change
Land:	6,200	6,200	0.0%
Improved:	0	0	0.0%
Total:	6,200	6,200	0.0%

## Property History

N/A

Town, City, Village, State or Federal  
Permits May Also Be Required

LAND USE – **X**  
SANITARY – **22-148S**  
SIGN –  
SPECIAL –  
CONDITIONAL –  
BOA –

# BAYFIELD COUNTY

# PERMIT

WEATHERIZE AND POST THIS PERMIT  
ON THE PREMISES DURING CONSTRUCTION

No. **22-0301** Tax ID: **10528** Issued To: **John H Horns & Cathleen A Villas-Horns Rev Trust**

Location: **SE** ¼ of **SE** ¼ Section **21** Township **43** N. Range **7** W. Town of **Cable**

Gov't Lot Lot **4** Block Subdivision **Ski Village North Section of Telemark Villages**

**Residential Structure in R-RB zoning district**

For: **[ 2-Story ], Residence on a Foundation (30' x 27'); with Awning over Door; Deck with Screen Porch Below (12' x 12'); Garage (22' x 13' & 3' x 12'); Concrete Slab (12' x 17'); Apron (6' x 10'); Deck or Pad (3' x 8') = 1,564 sq. ft. at a Height of 27'**

**(Disclaimer):** Any future expansions or development would require additional permitting.

**Condition(s):** **Meet and maintain setbacks including eaves & overhangs. For Personal Residence Only. A Uniform Dwelling Code (UDC) Permit from the locally contracted UDC Inspection Agency must be obtained prior to the start of construction. State/Town/DNR permits may be required.**

You are responsible for complying with state and federal laws concerning construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the department of natural resources wetlands identification web page or contact a department of natural resources service center (715) 685-2900.

**NOTE:** This permit expires one year from date of issuance if the authorized construction work or land use has not begun.

Changes in plans or specifications shall not be made without obtaining approval. This permit may be void or revoked if any of the application information is found to have been misrepresented, erroneous, or incomplete.

This permit may be void or revoked if any performance conditions are not completed or if any prohibitory conditions are violated.

**Tracy Pooler, AZA**

Authorized Issuing Official

**October 28, 2022**

Date